

PRICE LIQUOR STORE NEW LIFT & DOOR REPLACEMENT

50 NORTH 100 WEST
PRICE, UTAH 84501

AUGUST 02, 2006
CONSTRUCTION DOCUMENTS



STATE OF UTAH
DEPARTMENT OF ADMINISTRATIVE SERVICES
DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT

4110 STATE OFFICE BUILDING / SALT LAKE CITY, UTAH 84114 /
801.538.3018 / www.dfc.state.ut.us

DFCM PROJECT NO. 06059030

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**SCOTT P. EVANS - ARCHITECT
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ELECTRICAL ENGINEER:
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**THOMAS &
KOLKMAN**

**THOMAS & KOLKMAN
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64 WEST 1700 SOUTH / SALT LAKE CITY, UTAH 84115/
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ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
ALT.	ALTERNATE
AL.	ALUMINUM
ACI	AMERICAN CONCRETE INSTITUTE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASTM	AMERICAN SOCIETY OF TESTING & MATERIALS
AWS	AMERICAN WELDING SOCIETY
A.B.	ANCHOR BOLT
&	AND
L	ANGLE
APPD.	APPROVED
APPROX.	APPROXIMATE
ARCH.	ARCHITECT OR ARCHITECTURAL
AC	ARCHITECTURAL CONCRETE
AVG.	AVERAGE
@	AT
BM	BEAM
BLKG.	BLOCKING
BOT.	BOTTOM
BRKT.	BRACKET
BLDG.	BUILDING
CSMU	CALCIUM SILICATE MASONRY UNIT
C.B.	CATCH BASIN
CTR.	CENTER
CL	CENTERLINE
C TO C	CENTER TO CENTER
[CHANNEL
C.O.	CLEANOUT
COL.	COLUMN
COMP.	COMPOSITION
C.M.U.	CONCRETE MASONRY UNIT
CRSI	CONCRETE REINFORCING STEEL INSTITUTE
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CSK.	COUNTERSINK
CU.	CUBIC
CU. FT.	CUBIC FOOT
CFM	CUBIC FEET PER MINUTE
CU. IN.	CUBIC INCH
CU. YD.	CUBIC YARD
DEPT.	DEPARTMENT
DIAG.	DIAGONAL
Ø	DIAMETER
DIM.	DIMENSION
DR	DOOR
DBL.	DOUBLE
DWG.	DRAWING
ELEC.	ELECTRICAL
EWV	ELECTRIC WATER COOLER
ELV	ELEVATION
EQUIP.	EQUIPMENT
EJ / EXP. JT.	EXPANSION JOINT
EIFS	EXTERIOR INSULATION FINISH SYSTEM
F.S.	FAR SIDE
FT. or '	FEET OR FOOT
F.V.	FIELD VERIFY
F.F.	FINISH FLOOR
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.C.	FIRE HOSE CABINET
F.H.	FIRE HYDRANT
FRT	FIRE RETARDANT TREATED
FD	FLOOR DRAIN
FLUOR.	FLUORESCENT
FTG.	FOOTING
FND.	FOUNDATION
GALV.	GALVANIZED
GA.	GAGE OR GAUGE
GSU	GLAZED STRUCTURAL UNIT
GYP. BD.	GYPSON BOARD
HDW.	HARDWARE
HGT.	HEIGHT
HSB	HIGH STRENGTH BOLT
HORIZ.	HORIZONTAL
"	INCH
INFO.	INFORMATION
I.D.	INSIDE DIAMETER
INTER.	INTERMEDIATE
K	KIP (1,000 LB.)
LAB.	LABORATORY
MFG.	MANUFACTURER
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
NBFU	NATIONAL BOARD OF FIRE UNDERWRITERS
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
N.S.	NEAR SIDE
N.I.C.	NOT IN CONTRACT
NTS	NOT TO SCALE
NO. or #	NUMBER
O.C.	ON CENTER
OPNG.	OPENING
OPP.	OPPOSITE
O.D.	OUTSIDE DIAMETER
d	PENNY
/	PER
PERP.	PERPENDICULAR
Ø	PHASE
LB. or #	POUND
PREFAB.	PREFABRICATED
P/L	PROPERTY LINE
R	RADIUS
REINF.	REINFORCING
REQ'D.	REQUIRED
REV.	REVISION
R&S	ROD & SHELF
RD	ROOF DRAIN
RM	ROOM
RD. or Ø	ROUND
SHT.	SHEET
SIM.	SIMILAR
SAB	SOUND ATTENUATION BLANKET
SPEC.	SPECIFICATION
SQ. or	SQUARE
SYM.	SYMMETRICAL
SSEIS	SYNTHETIC STUCCO EXTERIOR INSULATION SYSTEM
T.O.M.	TOP OF MASONRY
T.B.C.	TOP BACK OF CURB
T.L.	TOP OF LANDSCAPING
T.W.	TOP OF WALK
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
VWC.	VINYL WALL COVERING
WWF	WELDED WIRE FABRIC
W/	WITH
W/O	WITHOUT

MATERIAL DESIGNATIONS

	EARTH
	POROUS FILL
	ASPHALT
	CONCRETE
	CONCRETE MASONRY UNITS
	BRICK
	CAST STONE
	CERAMIC TILE
	WOOD (FINISH)
	WOOD (STUDS, NAILERS)
	WOOD (BLOCKING)
	PLYWOOD
	BATT INSULATION
	RIGID INSULATION
	PLASTER
	ACOUSTIC TILE
	GYPSON BOARD
	GLASS
	STEEL
	PARTICLE BOARD
	RIGID INSULATION

GRAPHIC SYMBOLS

	DETAIL/WALL or SECTION NUMBER
	SHEET NUMBER
	DOOR NUMBER
	WINDOW NUMBER
	ROOM NAME
	ROOM NUMBER
	REVISION NUMBER
	DETAIL, WALL or SECTION NUMBER
	SHEET NUMBER
	GRID REFERENCE
	REFERENCE NORTH (PLANS)
	ELEVATION REFERENCE
	KEYED NOTE NUMBER
	INTERIOR ELEVATION MARKER
	WALL TYPES
	DRAWING REVISIONS
	REVISION NUMBER

DRAWING INDEX

SHT. #	DRAWING TITLE
	GENERAL:
GI-001	TITLE SHEET
GI-002	GENERAL INFORMATION
	STRUCTURAL:
SE-101	STRUCTURAL NOTES, PLAN & DETAILS
	ARCHITECTURAL:
AS-101	SITE PLAN & KEYED NOTES
AE-101	PLANS & KEYED NOTES
AE-201	ELEVATIONS & SECTIONS
AE-501	DETAILS
AE-502	DETAILS & PHOTOS
	ELECTRICAL:
E-101	ELECTRICAL PLAN AND NOTES



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BHB CONSULTING

ELECTRICAL ENGINEER:
THOMAS & KOLKMAN

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SPE PROJECT #: 06-14A

DRAWN BY: JBE

CHECKED BY: RPL

DESIGNED BY: RPL

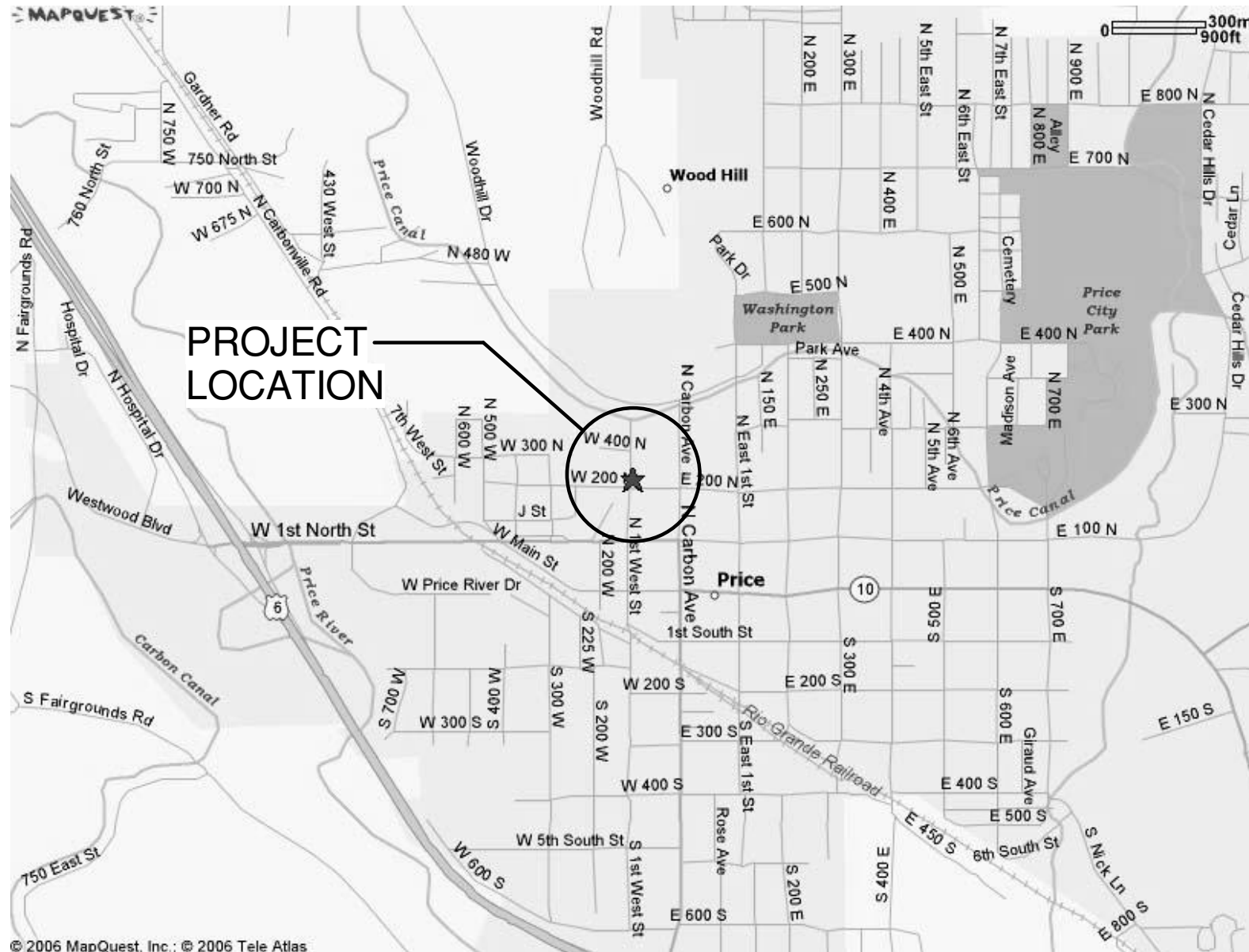
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SHEET TITLE:

GENERAL
INFORMATION

SHEET NUMBER:

GI-002



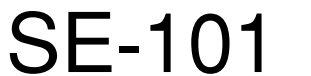
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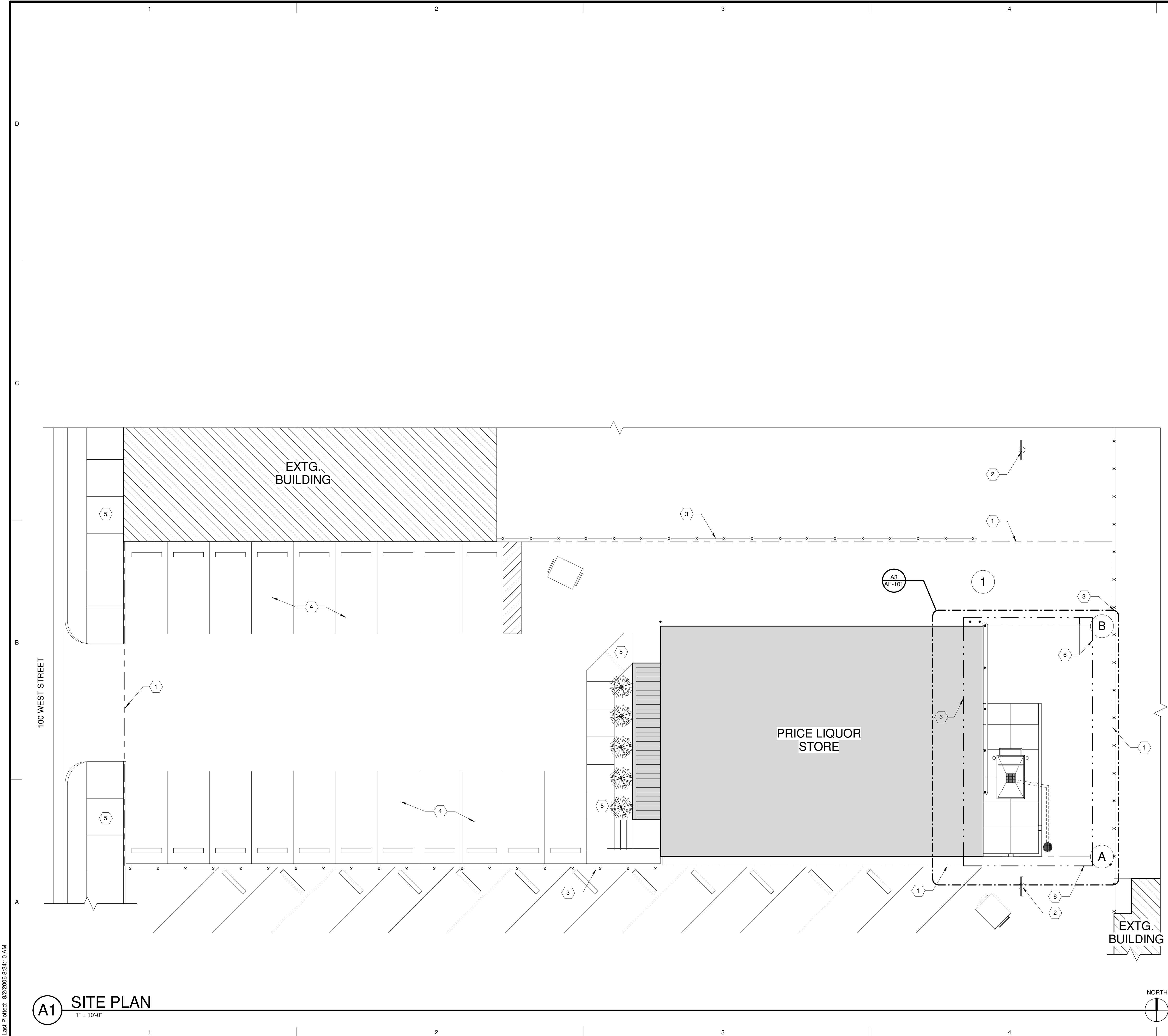
IV. **SPECIAL INSPECTION:**

SPECIAL INSPECTION IS REQUIRED IN ACCORDANCE WITH IBC SECTION 1701.

A. FIELD WELDING IF APPLY.



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KEYED NOTES

- EXTG. PROPERTY LINE.
- EXTG. UTILITY POLE TO REMAIN - SEE ELECTRICAL DRAWINGS.
- EXTG. CHAIN LINK FENCE TO REMAIN PROTECT FROM DAMAGE DURING CONSTRUCTION.
- EXTG. PARKING LOT TO REMAIN PROTECT FROM DAMAGE DURING CONSTRUCTION..
- EXTG. CONCRETE SIDEWALK REMAIN PROTECT FROM DAMAGE DURING CONSTRUCTION..
- CONTRACT LIMITS.

GENERAL NOTES

- PROTECT ALL EXISTING IMPROVEMENTS INCLUDING LANDSCAPING, SPRINKLING SYSTEMS, SIDEWALKS, PARKING AREAS, SURROUNDING ROOFS ETC. - ANY DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED TO ORIGINAL OR BETTER THAN ORIGINAL CONDITION (TO THE SATISFACTION OF THE OWNER AND ARCHITECT).
- GENERAL CONTRACTOR SHALL MAINTAIN VEHICLE ACCESS AT ALL TIMES TO ALL EXTG. BUILDING.



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SHEET TITLE:

SITE PLAN &
KEYED NOTES

SHEET NUMBER:

AS-101

DOOR SCHEDULE

* FIELD VERIFY ALL DIMENSIONS *

MARK #	DOOR							FRAME/OPENING						SIGNAGE	HDWR	REMARKS
	SIZE			TYPE	MATERIAL	LABEL	FINISH	TYPE	MATERIAL	HEAD DETAIL	JAMB(R) DETAIL	JAMB(L) DETAIL	THRESHOLD DETAIL			
	WIDTH	HGT	THK													
101	3'-0" PAIR	7'-9 5/8"	1-3/4"	A	Hollow Metal	None	Paint	B	Hollow Metal	A1/AE-501	A2/AE-501	A2/AE-501	B1/AE-501	NONE	H-1	

DOOR & FRAME TYPES

3/8" = 1'-0"

D4

KEYED NOTES

- EXTG. PROPERTY LINE.
- GENERAL CONTRACTOR TO SAW CUT EXTG. ASPHALT TO DIMENSIONS SHOWN OR AS REQUIRED.
- HATCH PATTERN INDICATES EXTG. AREA OF ASPHALT TO BE REMOVED & DISPOSED OF AS PER SPEC & ALL CODES.
- EXTG. CONCRETE RETAINING WALL TO BE REMOVED.
- EXTG. CONCRETE PAD TO BE REMOVED.
- EXTG. DOOR, FRAME & THRESHOLD & ALL RELATED MATERIALS TO BE REMOVED - REUSE SELECTED HARDWARE.
- REMOVED EXTG. DOOR STOP.
- EXTG. ROCK SUMP TO REMAIN.
- EXTG. CONCRETE SLAB TO BE REMOVED AS REQUIRED FOR NEW HYDRAULIC PUMP LINES - REPLACE CONCRETE SLAB & FLOORING FINISH TO MATCH EXTG. - SEE ELECTRICAL DRAWINGS.
- EXTG. STEEL GUARD RAIL TO REMAIN PROTECT FROM DAMAGE DURING CONSTRUCTION - PAINT SEE SPEC.
- 6" CONCRETE SLAB WITH #4 BARS 12" O.C. EACH WAY OVER 6" COMPACTED GRAVEL BASE.
- NEW CONCRETE CURB WALL - TOP OF WALL ELEVATION = 100'-3" - SEE DETAIL B2/AE-501.
- SLAB CONTRACTION JOINT - SEE DETAIL D2/AE-501.
- DASHED LINE INDICATED NEW 6" PVC DRAINAGE PIPE - TIE INTO EXTG. ROCK SUMP AS SHOWN AS REQUIRED - INSTALL PVC DRAINAGE PIPE & FITTING ACCORDING TO ASTM F891 RATED FOR DOMESTIC WASTE & VENT.
- NEW 6"Ø CONCRETE FILLED PIPE BOLLARD - SEE DETAIL A5/AE-501.
- PIT FOR NEW SCISSOR LIFT - SEE DETAIL INDICATED.
- STEEL ANGLE AT PERIMETER OF LIFT PIT & RECESSED BRIDGE - ALL CURB ANGLE JOINTS TO BE WELDED SECURELY - STEEL ANGLE TO BE GALVANIZED PRIMED & PAINTED.
- DROP TOP OF CONCRETE WALL TO MATCH TOP OF CONCRETE SLAB FOR WATER DRAINAGE.
- EXTG. ASPHALT TO REMAIN.
- PROTECT THE BUILDING FROM DAMAGE DURING CONSTRUCTION.
- PAINT EXTG. WALL IN THIS AREA FROM FLOOR TO CEILING - PAINT COLOR TO MATCH SURROUNDING WALLS - SEE SPEC.
- EXTG. ELECTRICAL PANELS TO REMAIN - SEE ELECTRICAL DRAWINGS.
- RELOCATE EXTG. ELECTRICALLY ILLUMINATED EXIT SIGNAGE ABOVE DOOR AS REQUIRED FOR NEW DOOR INSTALLATION - SEE ELECTRICAL DRAWINGS.
- EXTG. BOLLARDS TO REMAIN.
- NEW ASPHALT AS REQUIRED.

GENERAL NOTES

- PROTECT ALL EXISTING IMPROVEMENTS INCLUDING LANDSCAPING, SPRINKLING SYSTEMS, SIDEWALKS, PARKING AREAS, SURROUNDING ROOFS ETC. - ANY DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED TO ORIGINAL OR BETTER THAN ORIGINAL CONDITION (TO THE SATISFACTION OF THE OWNER AND ARCHITECT).
- GENERAL CONTRACTOR SHALL MAINTAIN VEHICLE ACCESS AT ALL TIMES TO ALL EXTG. BUILDINGS.
- GENERAL CONTRACTOR SHALL VERIFY DOOR & FRAME DIMENSIONS THAT EXIST IN FIELD PRIOR TO ORDERING DOOR & FRAME.
- CONTRACTOR TO COORDINATE & VERIFY EXTG. ASPHALT GRADES & COORDINATE WITH NEW CONCRETE SLAB & RETAINING WALL BEFORE PLACEMENT - COORDINATE WITH ARCHITECT BEFORE ANY SETTING OF GRADES & ELEVATIONS IS DONE.



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THOMAS & KOLKMAN

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SHEET TITLE:

PLANS & KEYED
NOTES

SHEET NUMBER:

AE-101

DOOR SCHEDULE

1:1

D1

DEMOLITION PLAN

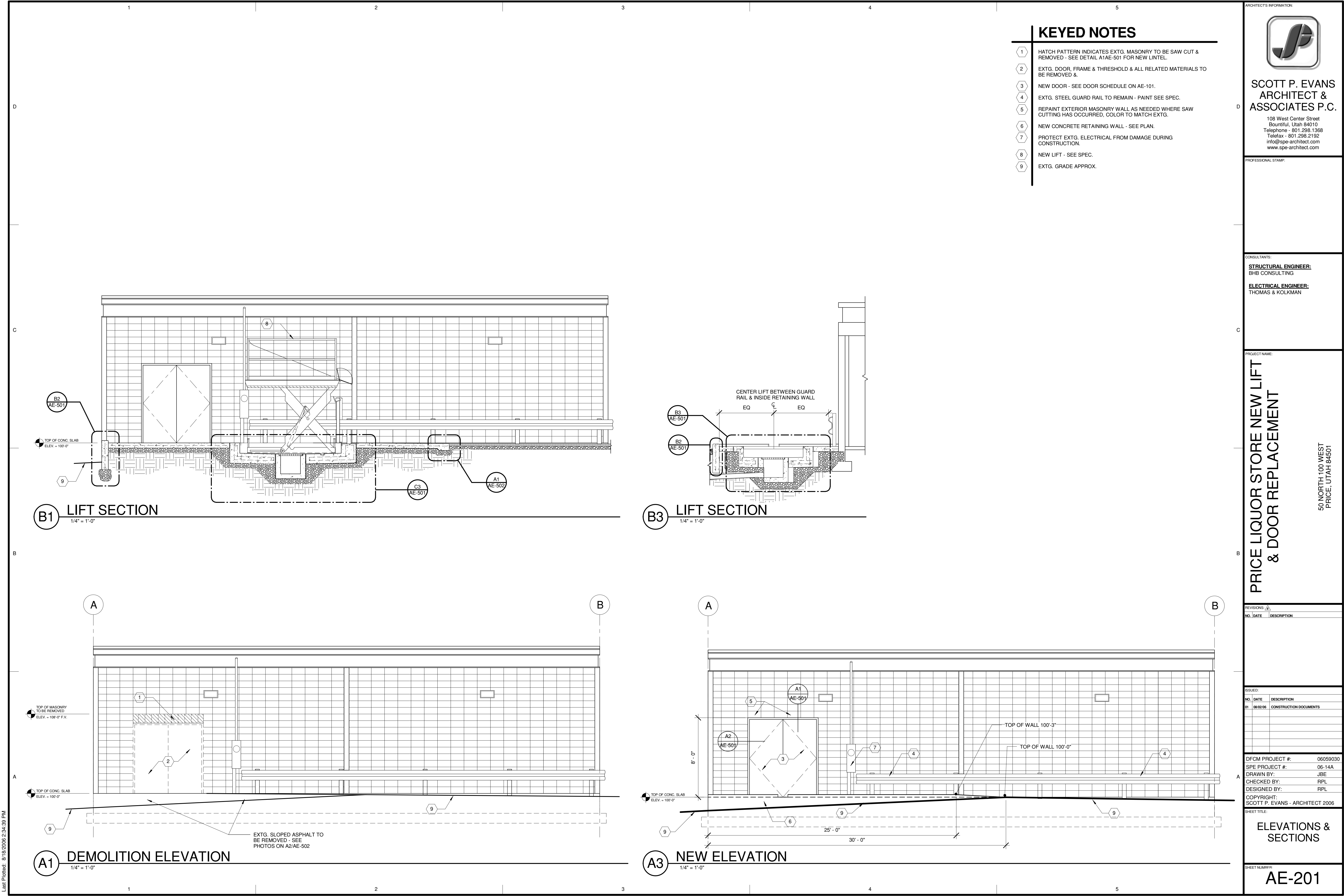
1/4" = 1'-0"

A1

NEW PLAN

1/4" = 1'-0"

A3



KEYED NOTES

- 1 HATCH PATTERN INDICATES EXTG. MASONRY TO BE SAW CUT & REMOVED - SEE DETAIL A1AE-501 FOR NEW LINTEL.
- 2 EXTG. DOOR, FRAME & THRESHOLD & ALL RELATED MATERIALS TO BE REMOVED &.
- 3 NEW DOOR - SEE DOOR SCHEDULE ON AE-101.
- 4 EXTG. STEEL GUARD RAIL TO REMAIN - PAINT SEE SPEC.
- 5 REPAINT EXTERIOR MASONRY WALL AS NEEDED WHERE SAW CUTTING HAS OCCURRED, COLOR TO MATCH EXTG.
- 6 NEW CONCRETE RETAINING WALL - SEE PLAN.
- 7 PROTECT EXTG. ELECTRICAL FROM DAMAGE DURING CONSTRUCTION.
- 8 NEW LIFT - SEE SPEC.
- 9 EXTG. GRADE APPROX.

ARCHITECT'S INFORMATION:



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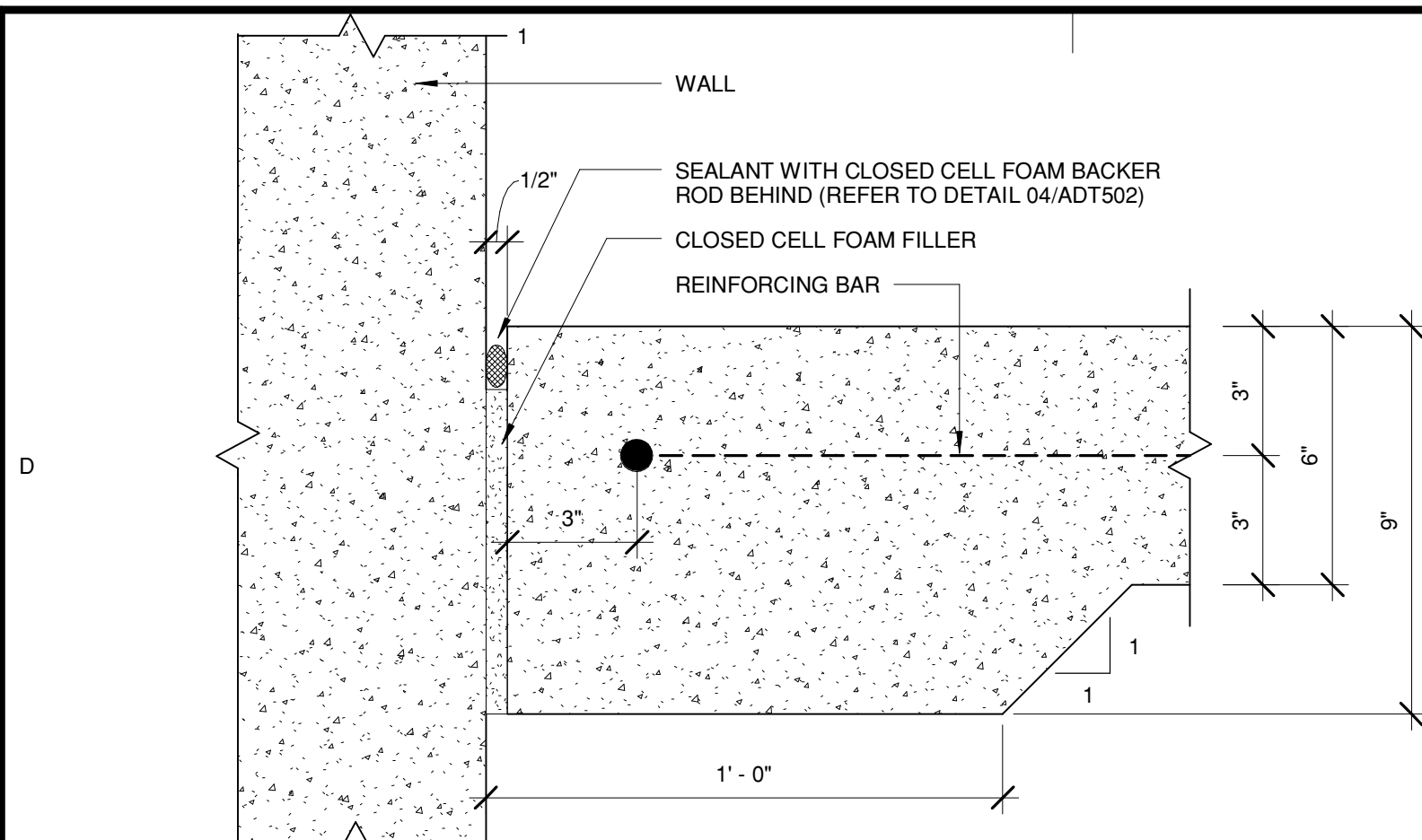
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ELEVATIONS &
SECTIONS

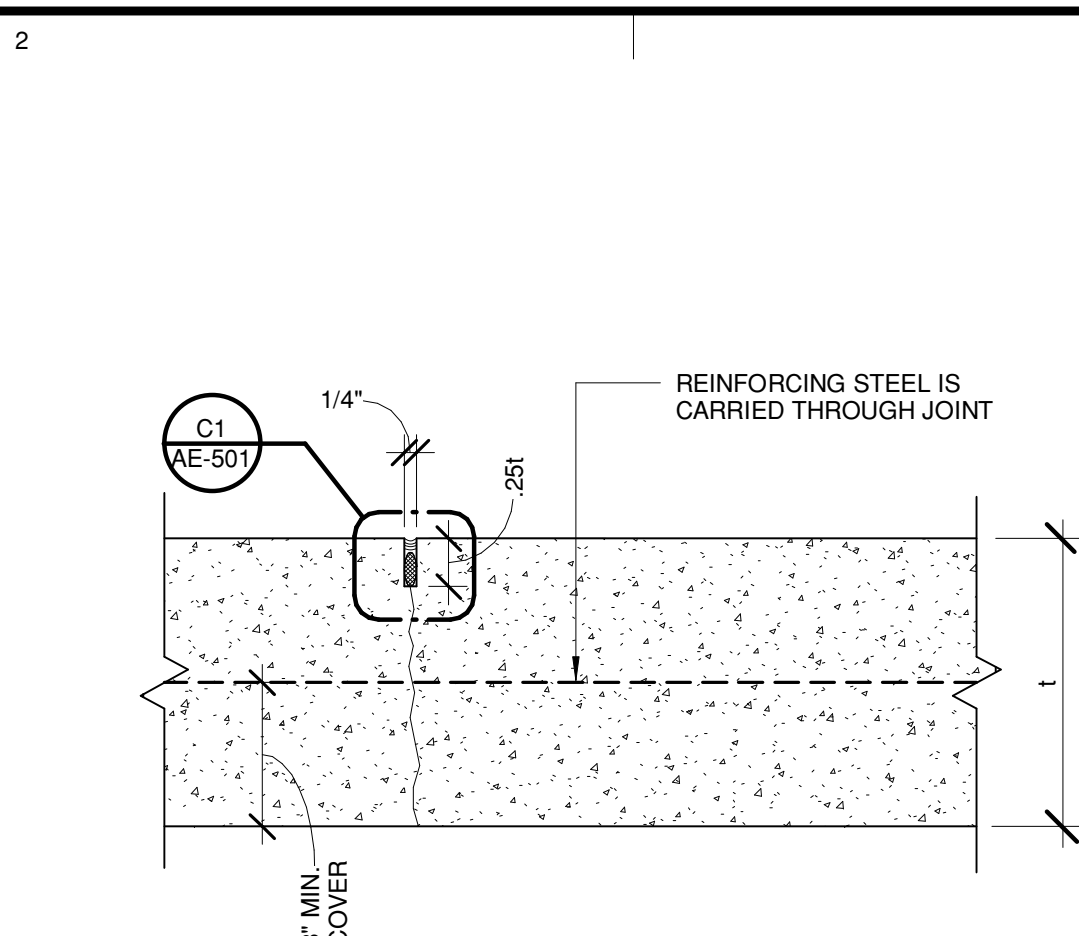
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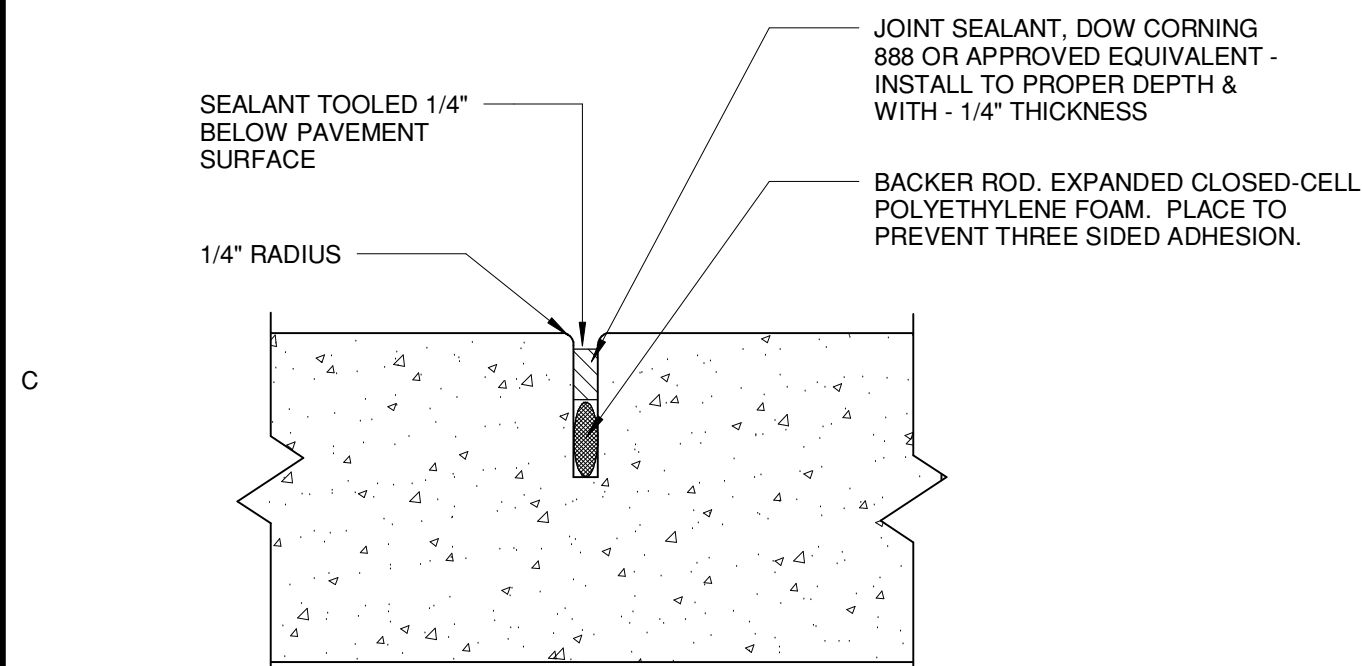
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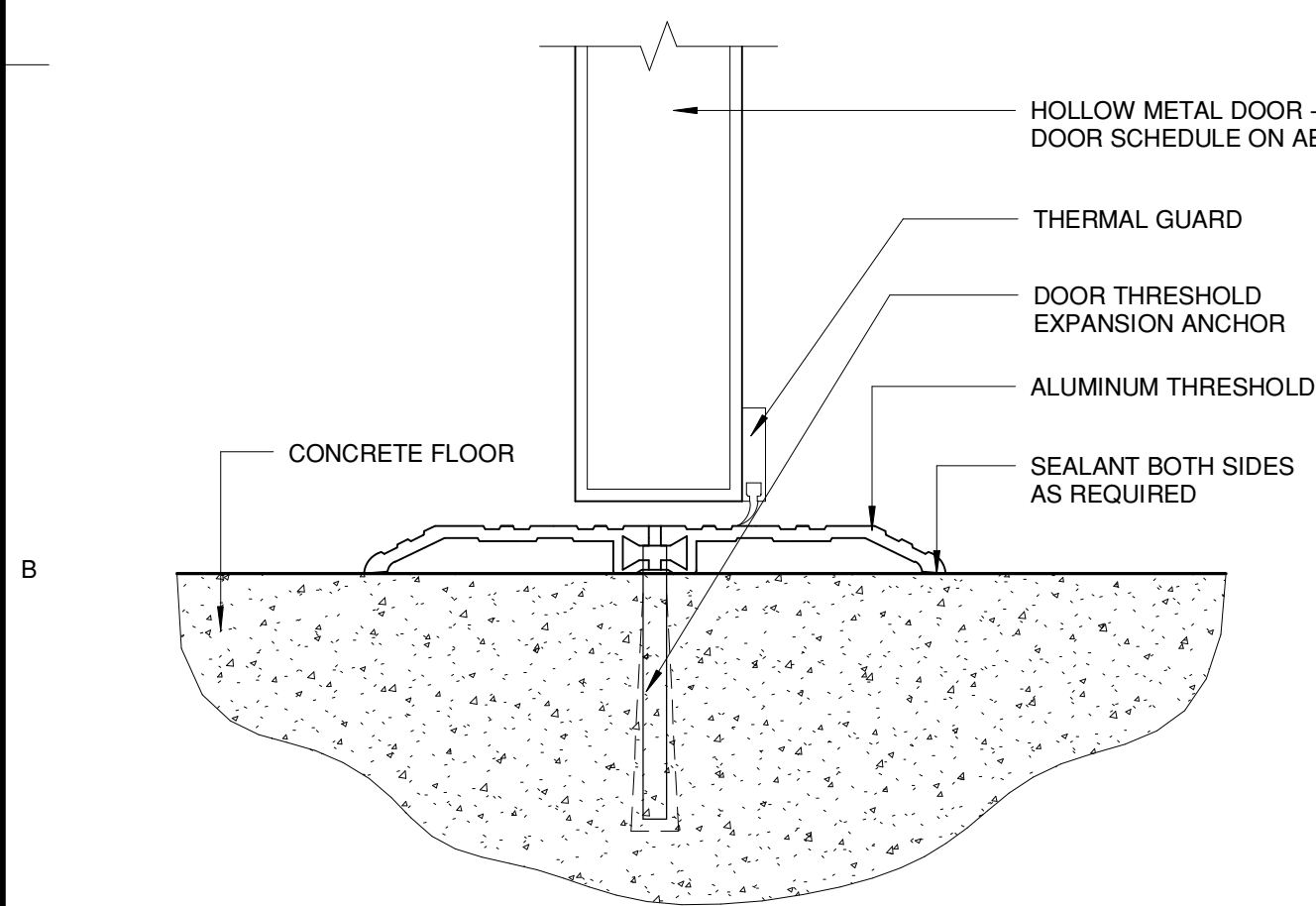
D1 TYP. SLAB PERIMETER JOINT
3" = 1'-0"



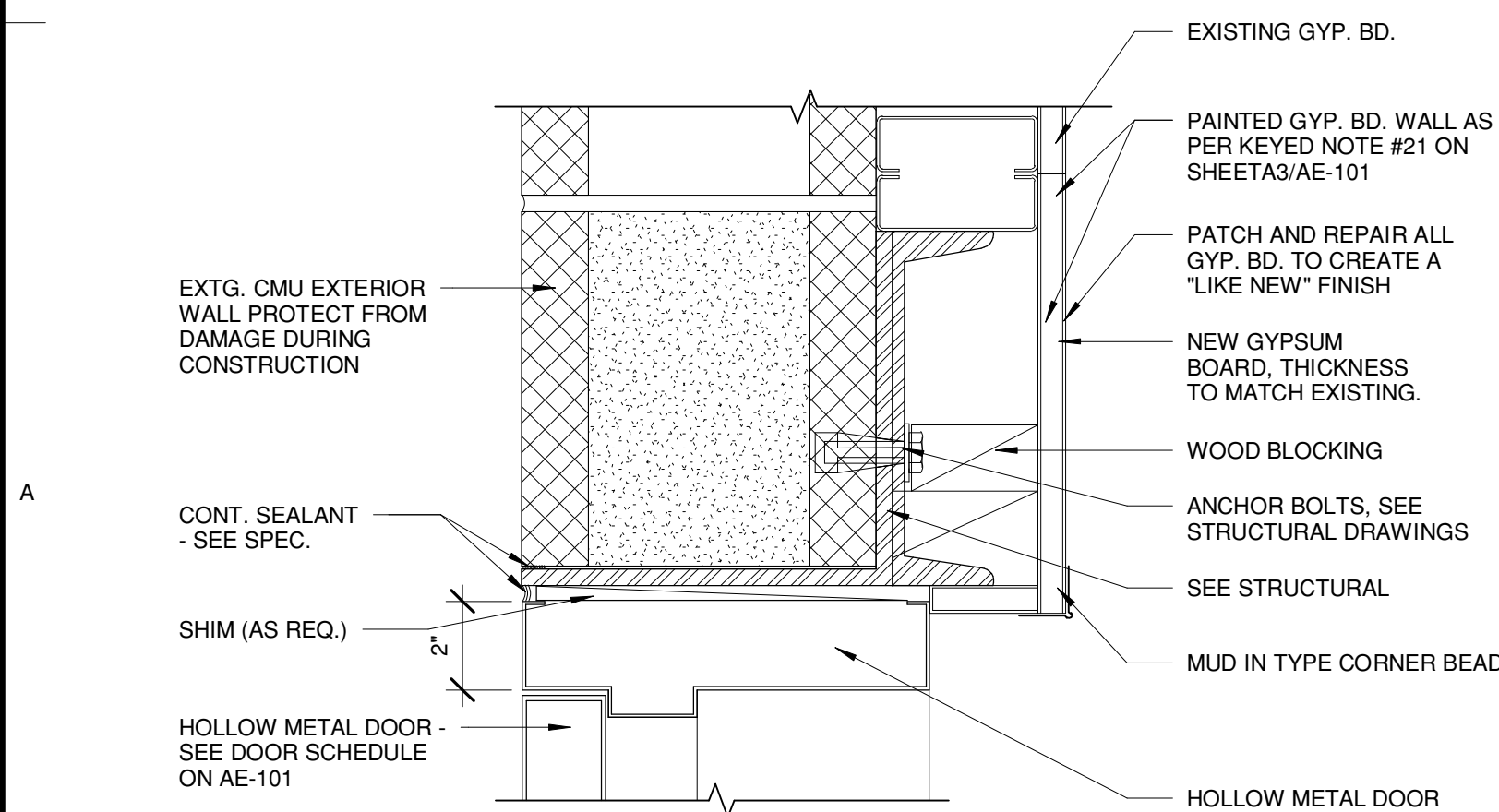
D2 TYP. SLAB CONTRACTION JOINT
3" = 1'-0"



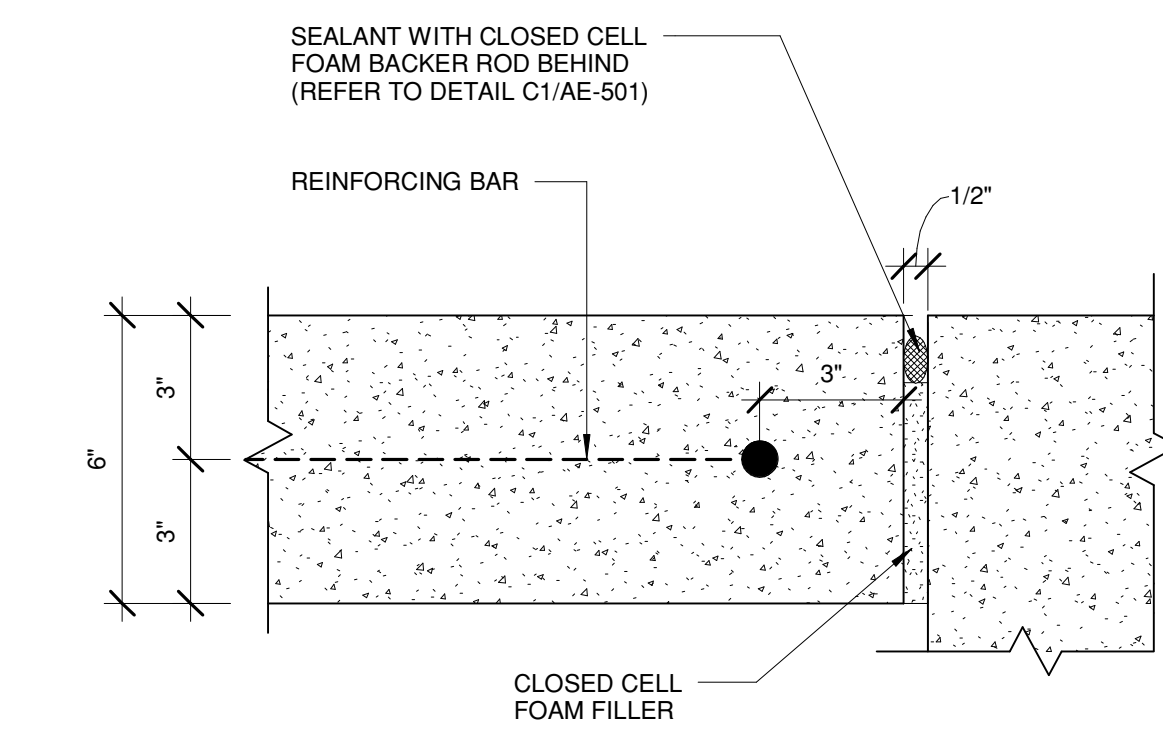
C1 TYP. JOINT SEALANT
6" = 1'-0"



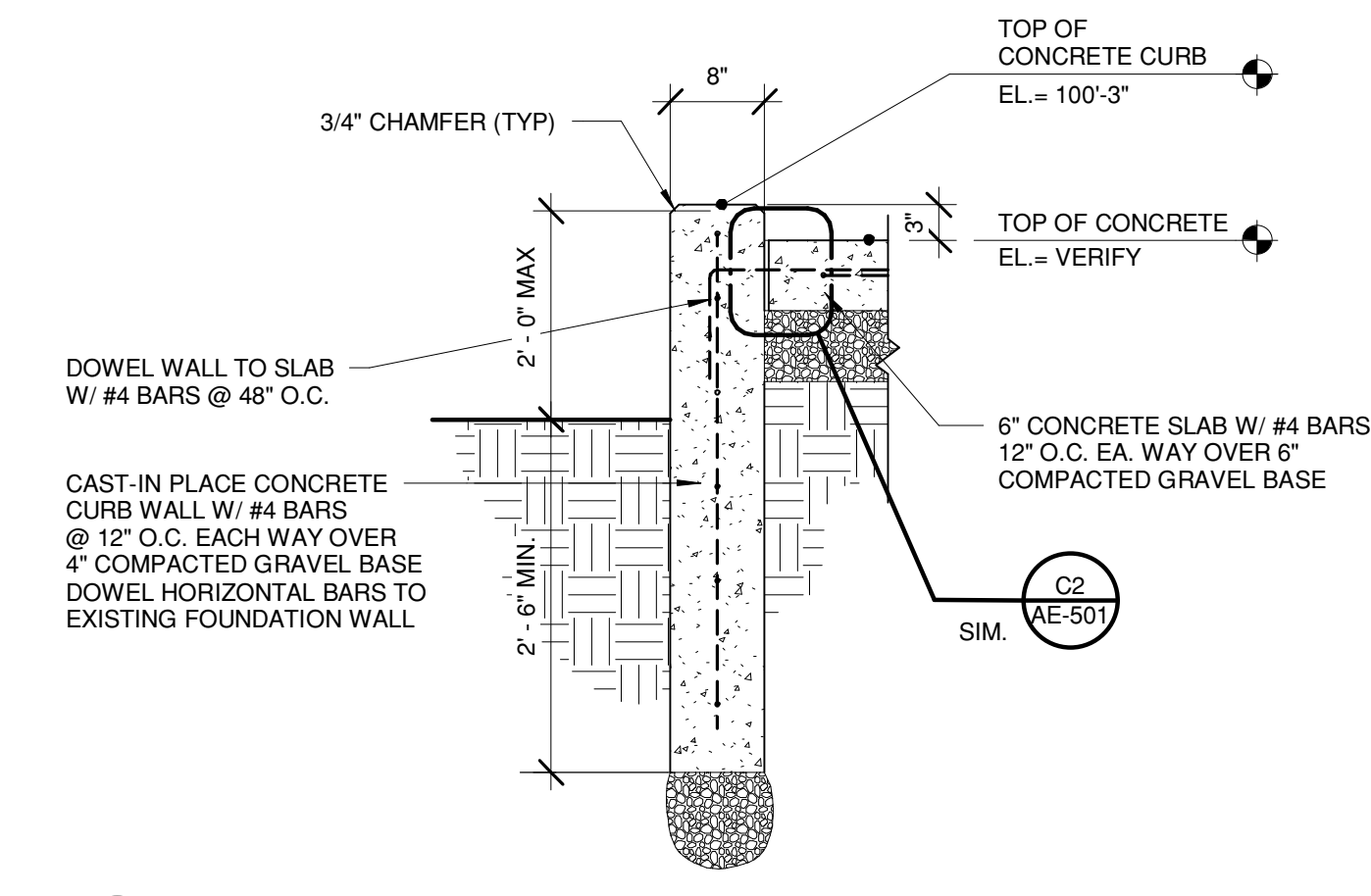
B1 DOOR THRESHOLD
6" = 1'-0"



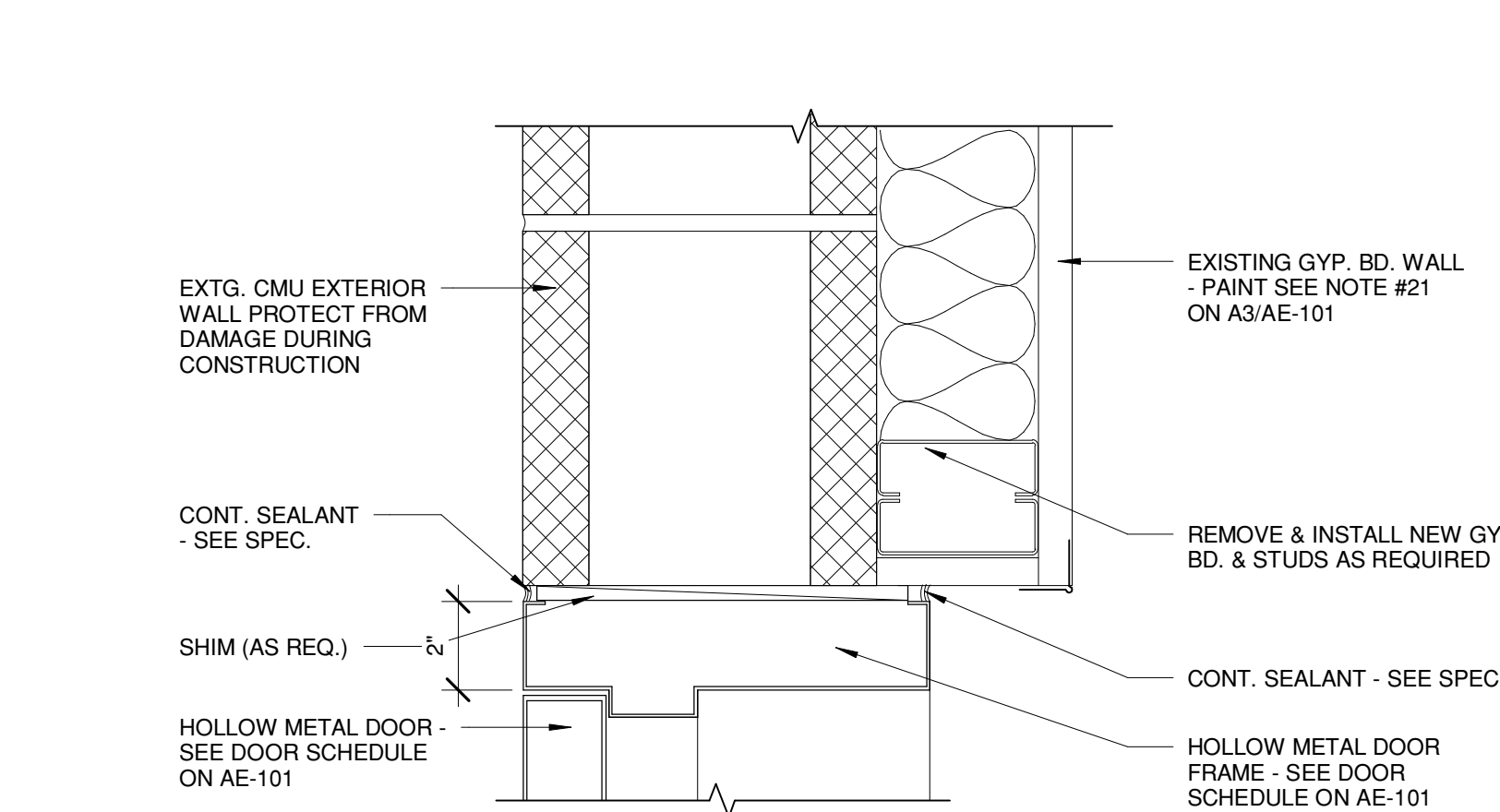
A1 DOOR HEAD DETAIL
3" = 1'-0"



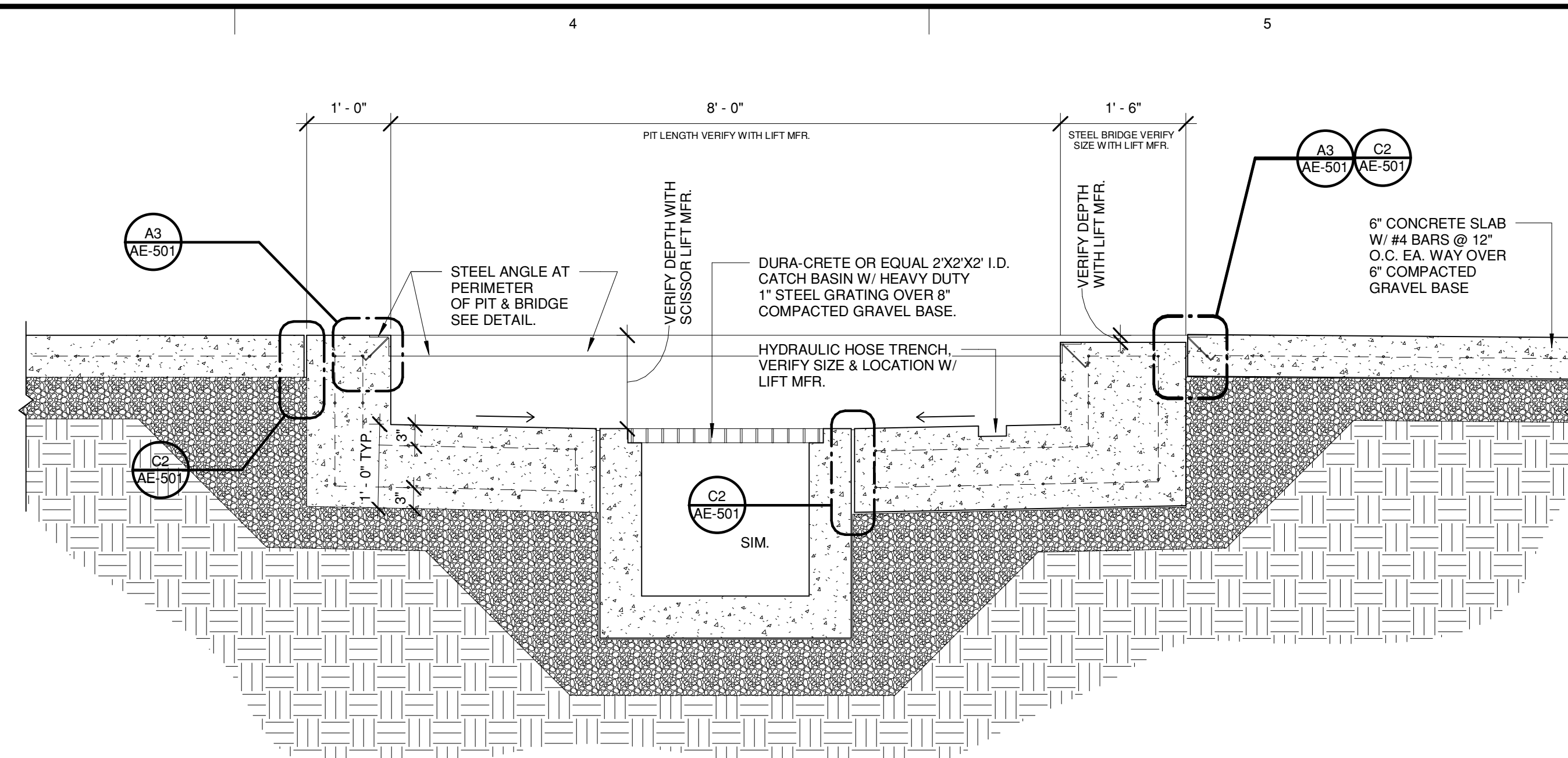
C2 TYP. SLAB EXP. JOINT
3" = 1'-0"



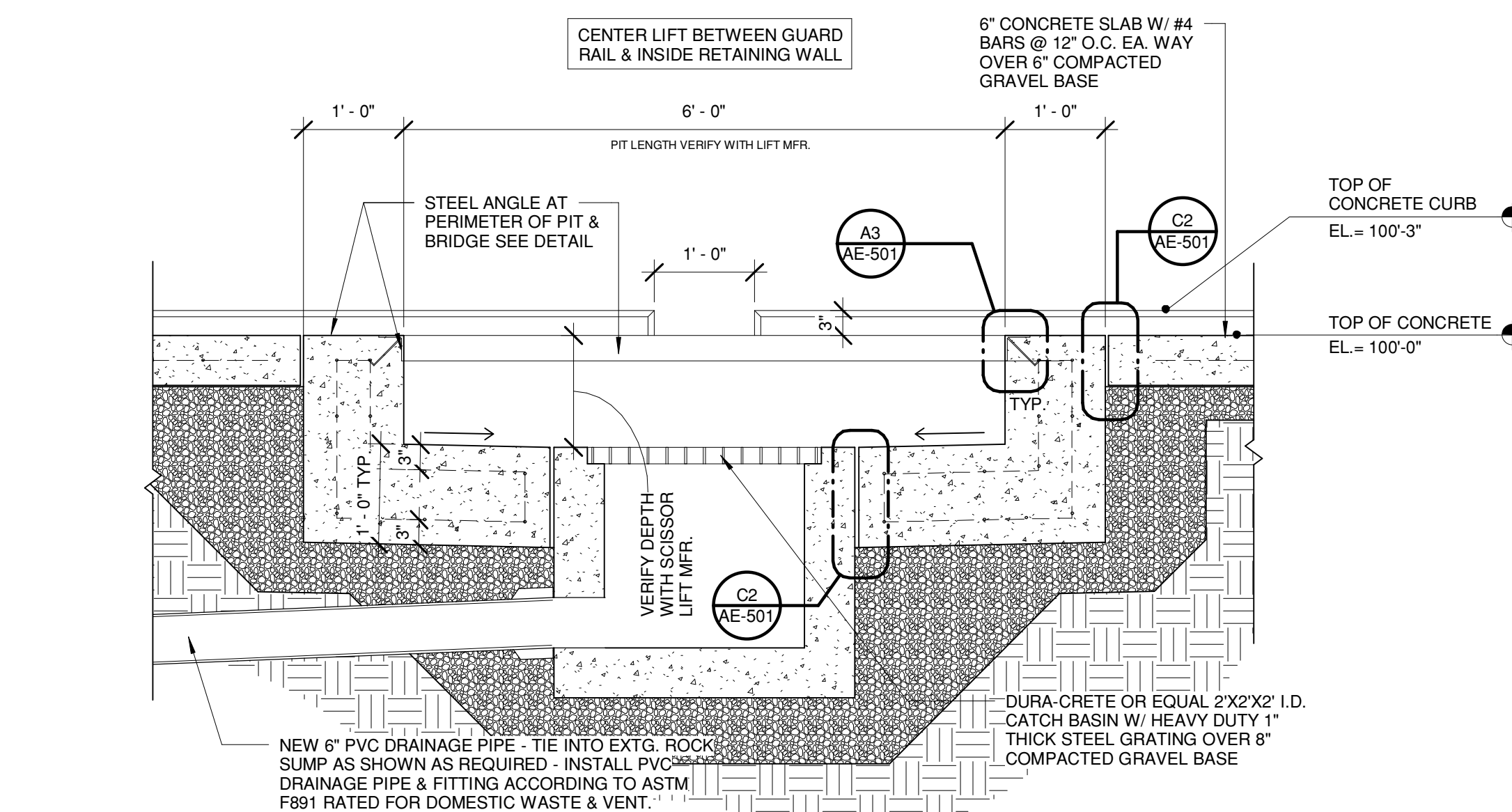
B2 CURB WALL DETAIL
3/4" = 1'-0"



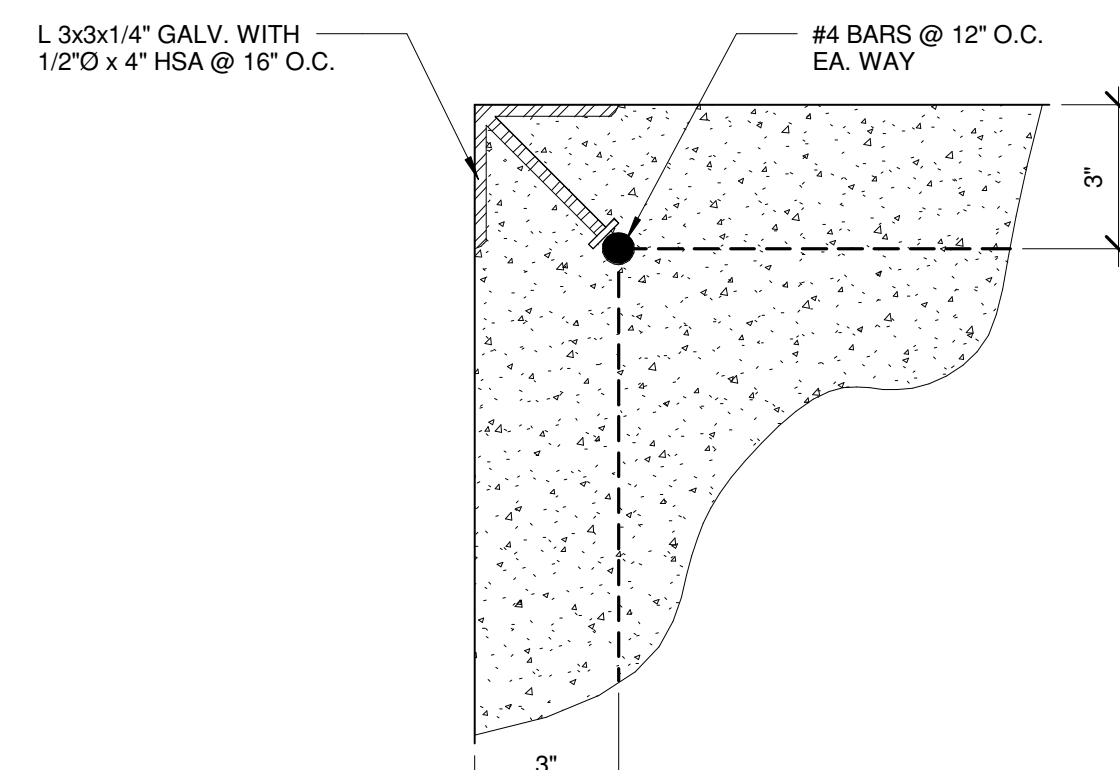
A2 DOOR JAMB DETAIL
3" = 1'-0"



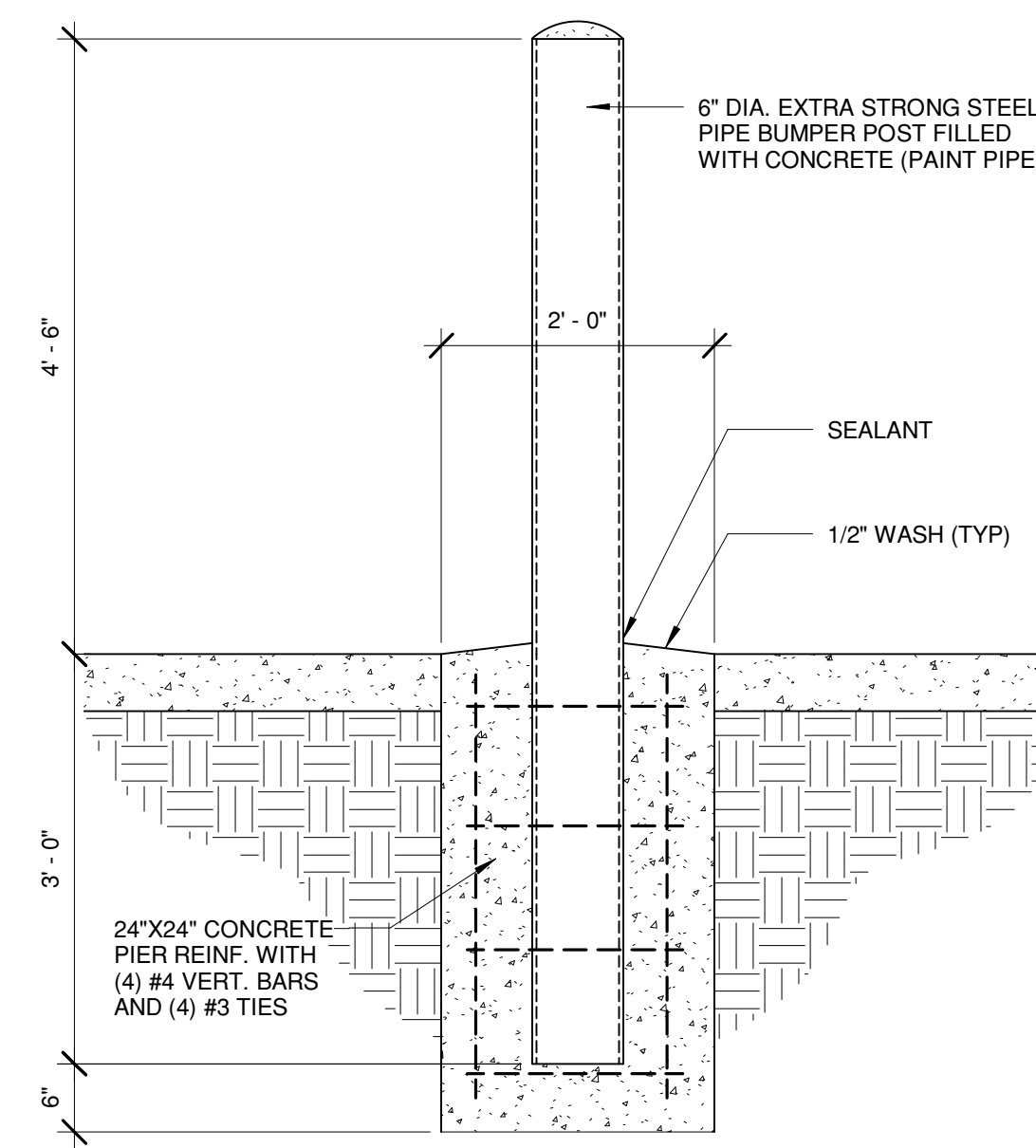
C3 CAST-IN PLACE CONCRETE LIFT PIT DETAIL
3/4" = 1'-0"



B3 CAST-IN PLACE CONCRETE LIFT PIT DETAIL
3/4" = 1'-0"



A3 PIT DETAIL
3" = 1'-0"



A5 BOLLARD DETAIL
3/4" = 1'-0"



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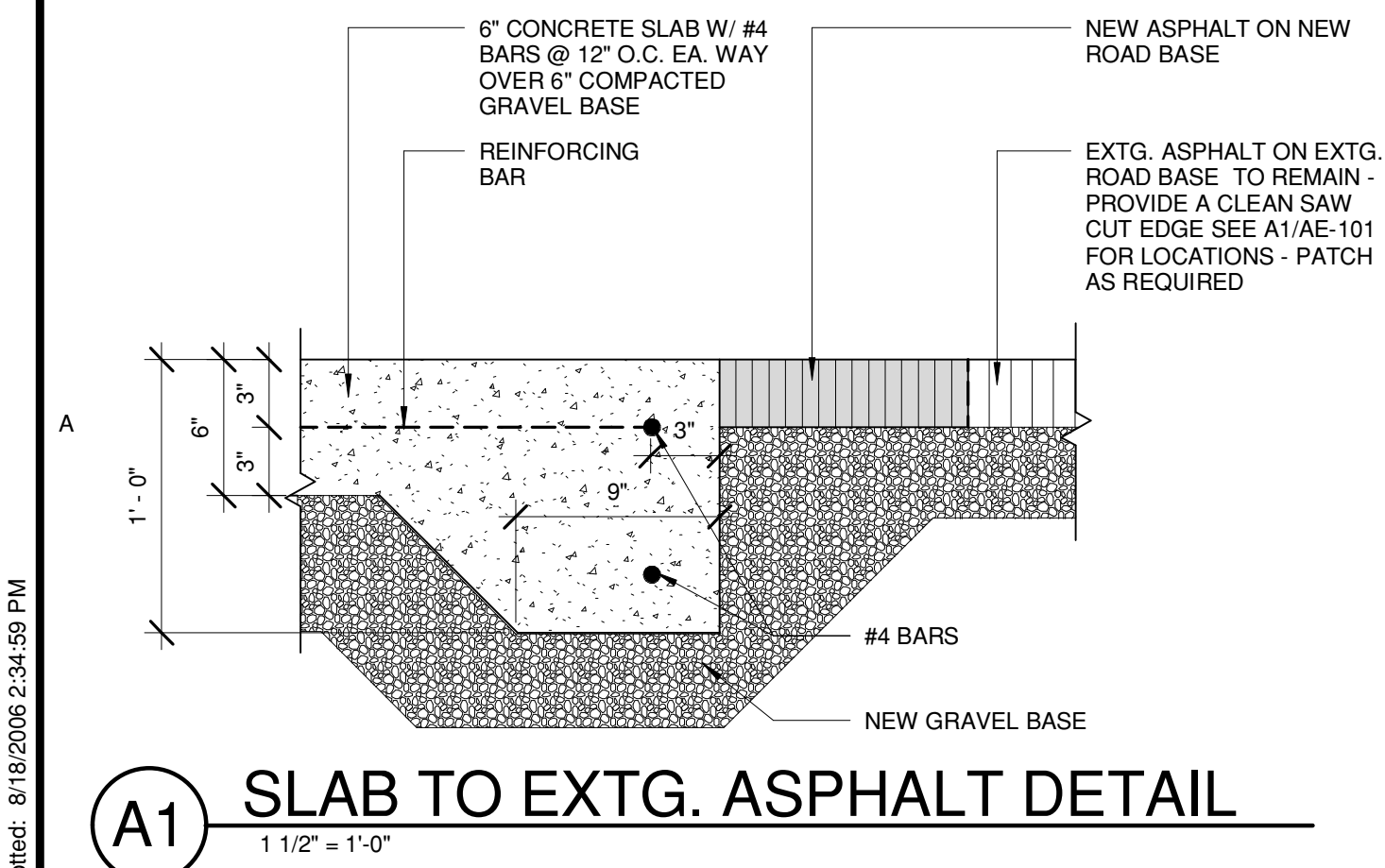
SHEET TITLE:

DETAILS

SHEET NUMBER:

AE-501

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A2 PHOTOS
1 1/2" = 1'-0"



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